



 CONWAY
HISTORIC DISTRICT COMMISSION
NOVEMBER

STAFF REPORT

Monday, November 24, 2014 • 6:00 pm
City Hall • Downstairs Conference Room
1201 Oak Street • Conway, AR

ROBINSON HISTORIC DISTRICT AND OLD CONWAY DESIGN OVERLAY DISTRICT

CONWAY HISTORIC DISTRICT COMMISSION MEETING

NOVEMBER 24, 2014 • 6:00PM • CITY HALL • 1201 OAK STREET

AGENDA

Minutes

October 27, 2014

Public Hearings

Certificate of Appropriateness Review

Old Conway Design Overlay District

- I. Shaver Properties New Single-Family Residence - 715 Ingram Street
II. Habitat for Humanity New Single-Family Residence - 621 Walnut Street

Discussion

Items as decided by the Historic District Commission

We welcome special guest, Catherine Barrier, Arkansas Historic Preservation Program's new CLG Coordinator. Ms. Barrier has taken Ms. Patricia Blick's position. She joins us this evening to get better acquainted with the Conway HDC.

HISTORIC DISTRICT COMMISSION MEMBERS

- Steve Hurd, Chairman; Betty Pickett; Velton Davies, Vice Chairman; Marianne Welch; Scott Zielstra, Secretary; Aaron Nicholson; George Covington, Sr.; Taylor Martin; Trey Massingill

Conway Historic District Commission October 27, 2014

Meeting Minutes

City Hall - Downstairs Conference Room, 6:00 p.m.

Roll Call

- Steve Hurd, Chairman - present; Velton Daves, Vice-Chairman - present; Scott Zielstra, Secretary - present; George Covington, Sr. - present; Trey Massingill - present; Marianne Welch - present; Betty Pickett - present; Aaron Nicholson - present; Taylor Martin - present; HDC City Staff, Bryan Patrick - present

Finding of a Quorum

Nine Commission members - Quorum present. Also in attendance:

- 1. James Fletcher 1423 Ingram St.
2. Michael Shaefer - 1818 Bruce St.
3. Lynn Shaefer - 1818 Bruce St.
4. Greg Crawford

Meeting Minutes

September 22, 2014 minutes. Mr. George Covington motioned for approval, seconded by Mr. Scott Zielstra. Minutes approved unanimously.

PUBLIC HEARING - CERTIFICATE OF APPROPRIATENESS

Agape Community Temple of Servants

Presentation: Adding on 1,800 square foot to the church for fellowship. There is not a place except for the sanctuary for the students and congregation to gather. It will be a one level addition.

Commission Discussion: When it is done, you won't know there was an addition made. The current systems are made for expansion and will not need to be replaced. Parking should not be an issue; at most, 7 parking spaces will be lost. There is a vacant lot adjacent to the church that is not owned by the church.

Motion made by Mr. George Covington to accept the plan as submitted with staff recommended conditions.

Conditions:

- 1. The addition shall be constructed generally as shown on the submitted plans.
2. The setbacks shall be allowed as shown on the site plan.
3. HVAC equipment shall be appropriately screened and located at the rear of side of the structure.

- 4. Any site lighting shall be inward, downward, and shrouded.

Seconded by Ms. Marianne Welch. Motioned approved unanimously.

Schaefer Residence Addition

Presentation: Add a bathroom onto the back of the house. The house is from 1937 and it only has 1 bathroom in the entire structure. The addition will blend with the rest of the house.

Committee Discussion: Trees: no trees will be removed. There were trees on the property but those were lost due to drought. There is not a sidewalk issue as an in lieu fee was paid in 2008.

Motion made by Ms. Betty Pickett to approve the request with the following conditions:

Committee Conditions:

- 1. The residence shall be constructed generally as the addition shall be constructed generally as shown on the submitted plans.
2. The setbacks shall be allowed as shown on the site plan.
3. HVAC equipment shall be appropriately screened and located at the rear of side of the structure.
4. Asphalt shingles shall be used to match existing roof.

Seconded by Mr. Velton Daves. Motioned approved unanimously.

Robinson District Expansion Survey

Ms. Sandra Taylor Smith presented the architectural survey. 125 houses were surveyed this time around. Many of the houses are ranch style houses; 1965 and earlier could contribute to the district. There are no city directories for the city of Conway phone directories before 1948. There was a large variety of different styles in the survey. Most of the residences were south of the existing historic district on Scott, Mitchell, and College Streets. English & Spanish revival, ranch style. Ms. Smith will finalize the survey and submit it to the Arkansas Historic Preservation Program in the next two weeks.

Meeting was adjourned

I. Shaver Properties New Single-Family Residence - 715 Ingram Street

OLD CONWAY DESIGN OVERLAY DISTRICT CERTIFICATE OF APPROPRIATENESS REVIEW

APPLICANT/OWNER

Allen Shaver
Shaver Properties
1261 Harkrider
Conway, Arkansas 72032

SITE

Address: 715 Ingram Street

Present zoning: R-2A (Large Lot Duplex) in the Old Conway Design Overlay Suburban Zone. A Conditional Use Permit for a maximum density of 3 residential units was approved by the City Council on October 28, 2014.

Abutting zoning: R-2A (Large Lot Duplex)

Lot area: .35 Acre

Surrounding Area Structures: One existing single family residence, outbuildings, and one single family residence under construction.

General description of property and proposed development: The applicant would like to construct one additional single family residence north of the existing house on the corner. A conditional use permit to allow 3 residences was approved by the City Council on October 28, 2014. The new home under construction west of the existing home was given approval by the HDC on September 22, 2014. The existing garage will be demolished.

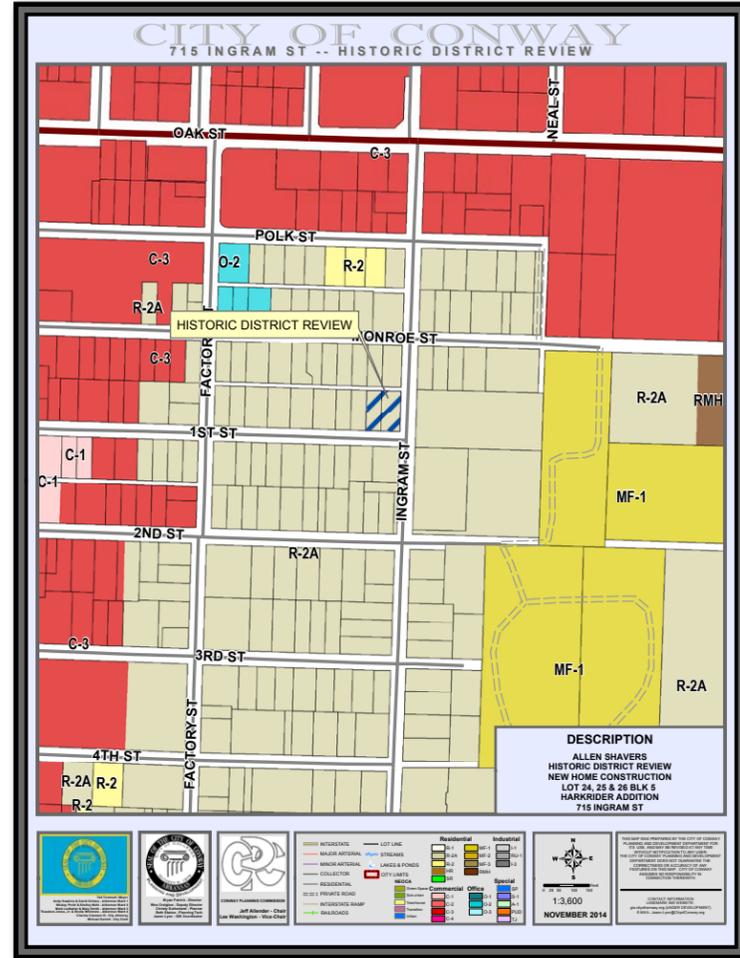
Setbacks: Proposed structures should respect the predominant setbacks of area structures, especially the front setback. Old Conway suburban guidelines state that the front of a structure should be between 80% and 110% of the average area front setback of 20 feet from the property line. The new home's front setback should be between 16 and 22 feet from the property line.

Spacing: Established spacing distance pattern between area structures. The proposed residence would meet the typical side setbacks of 6 feet minimum. Spacing is appropriate.

Lot coverage: The Old Conway Suburban District allows up to 60% impermeable lot coverage. The proposed lot coverage is appropriate.

Orientation: The direction in which the front of a building faces. The residence will face Ingram Street. This orientation is appropriate.

Alley: There is an unbuilt alley on the north side of this property. A driveway will be constructed in the alley to access the residence.



Driveway / Parking: The Old Conway Guidelines encourage garage placement at the rear of structures or at least set back from the front facade. The garage should not be the most emphasized feature of the front facade. The garage will face northward at the rear of the residence. The garage will be accessed from the existing, but unbuilt alleyway.

Sidewalks: The OCDOD Ordinance requires that sidewalks be constructed or repaired as part of new construction. A new 4 foot wide sidewalk must be constructed along Ingram and 1st Street.

Fences: No fencing is proposed. However, there is an existing tall hedgerow along Ingram Street.

Tree preservation: It appears that one or possibly two, significant existing pecan trees will be affected by this construction. A large pecan tree close to the curb between houses will remain. A new pecan tree should be planted to remediate the loss of the significant trees.

MASSING

Scale: The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The scale of the residence is appropriate for the area.

Height: The average height of area structure's eaves and cornices. Also, the first floor elevation/height relationship. The residence's external height is appropriate. The interior floor to ceiling height should be 9' to lend a more traditional feel to the residence.

Width: New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The proposed residence's width is appropriate.

Directional expression: Measurement of the height to width ratio of a structure's elevation. The height/width ratio of the residence is appropriate.

Footprint: The area of land covered by a structure should be in relation to the majority of neighboring structures. The footprint is appropriate in scale with other area residences.

Complexity of form: The level of detailing and breaks in wall planes of a structure. The residence has an appropriate level of wall breaks and detailing to create a suitable level of complexity to blend and add to the area.

Façade, wall area, rhythm: Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. Window and door openings should correspond to the rhythm and proportion on existing structures. Generally doors and windows should be proportioned in a range of 25-40% of the total surface area. The number of windows seems appropriate except for the "great room". Two additional windows should be added to the north side of this room.

DESIGN ELEMENTS

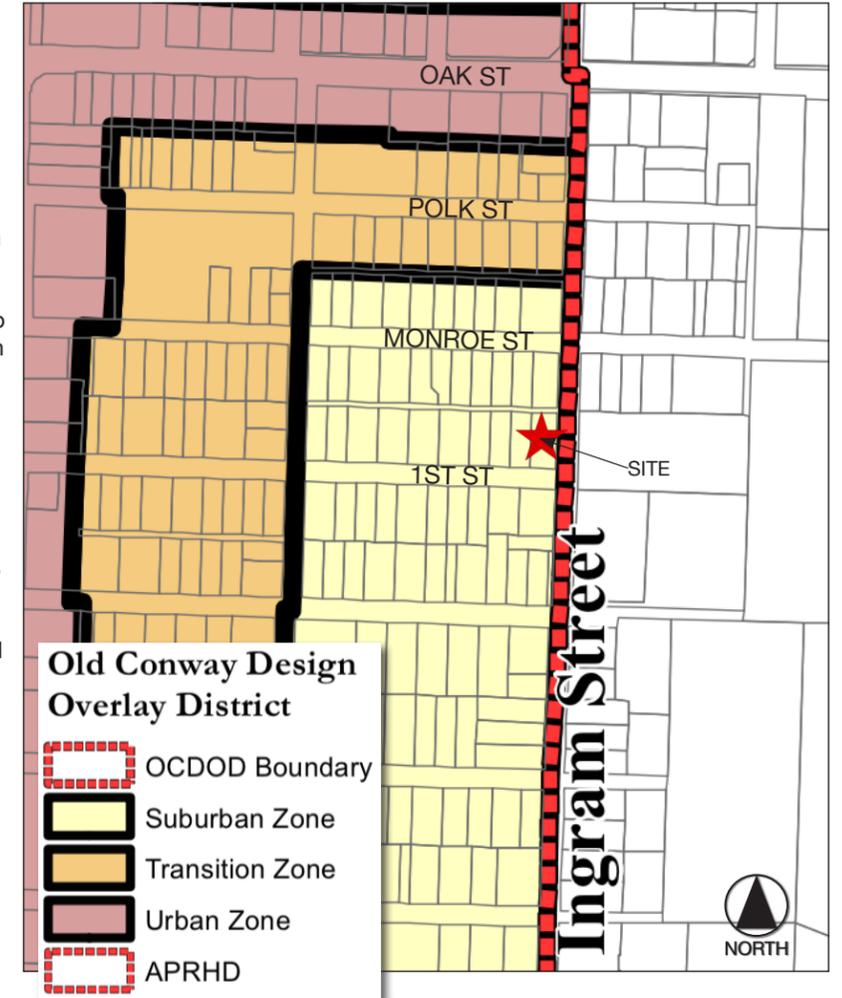
Style: The style should compliment existing and area structures. The proposed residence could be described as a contemporary bungalow. The style seems to blend with the area minimal traditional and contemporary residences.

Entries, porches and porticos: A porch is proposed on the front facade. Porches should have a minimum depth of 6'-0". The porch as shown is 6 feet deep.

Doors and windows. An appropriate level of doors and windows are provided. To avoid "fake" window light dividers one over one sashes should be used.

Awnings: When new construction uses awnings, traditional awning designs, materials, and placement should be used. No awnings are proposed.

Lighting: Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No light fixtures other than typical residential fixtures are proposed.



MATERIALS & DETAILING

Architectural details, siding and bricks: Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The residence has brick siding and simple trim and soffit detailing. It is assumed that vinyl siding is proposed for the gables and trim.

Shutters: No shutters are proposed.

Roof: The roof is an asphalt composition roof. An architectural shingle should be used.

Decks/plaza space: No decks are proposed.

Windows/Doors: Windows and doors are modern materials and styling. These appropriately blend with area residences.

Skylights: Not proposed.

Mechanical screening: HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. HVAC equipment should be appropriately screened and located at the rear.

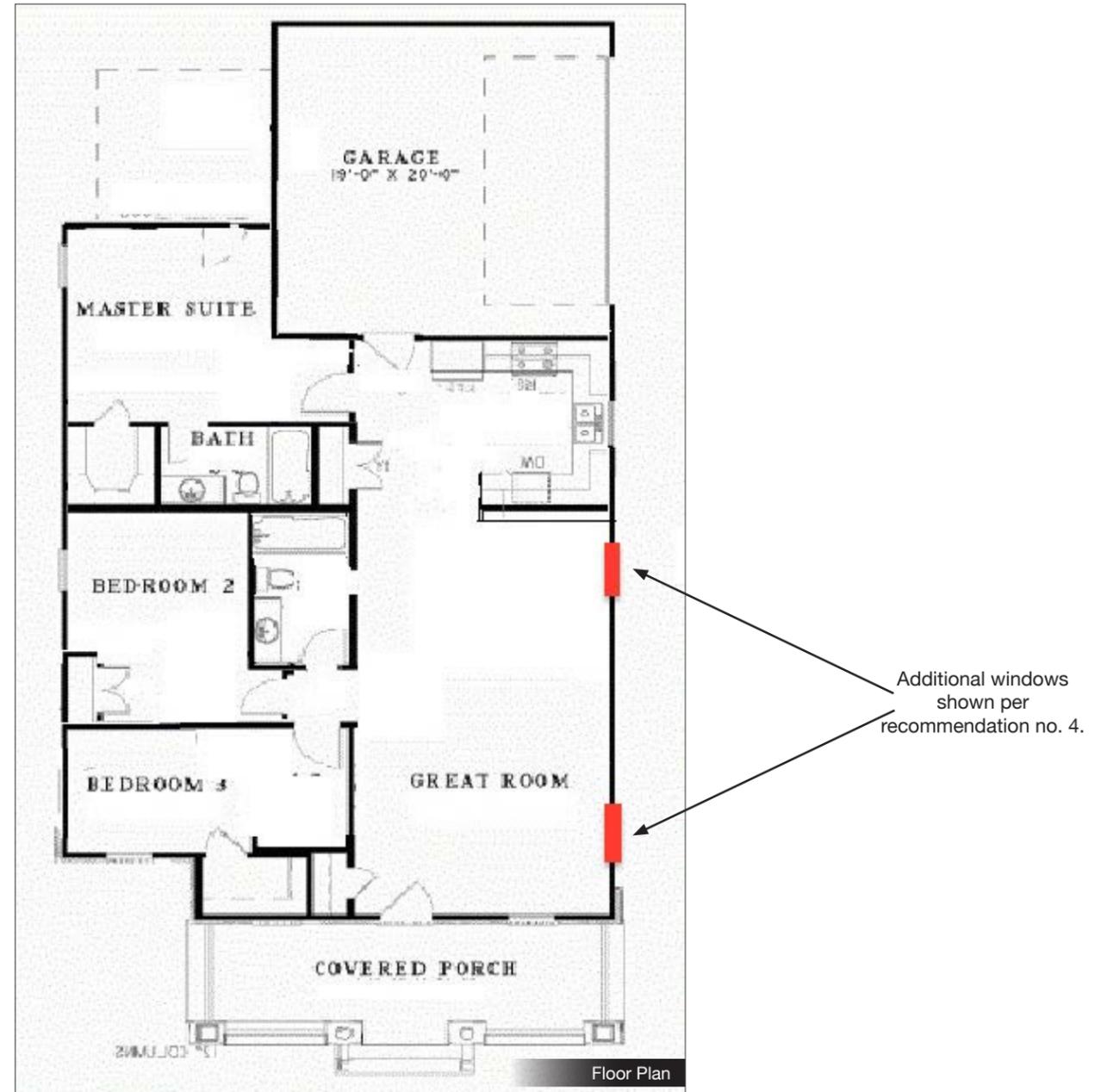
I. Shaver Properties New Single-Family Residence - 715 Ingram Street



RECOMMENDATIONS

1. The residence shall be constructed generally as shown on submitted plans.
2. The front setback shall be between 16 and 22 feet from the property line.
3. Any site lighting shall be inward, downward, and shrouded.
4. Additional windows shall be provided per staff recommendation. Windows shall be one over one.
5. Porch shall be a minimum of 6 feet deep. Porch columns shall be trimmed to a minimum 8" square.
6. Architectural asphalt shingles shall be used.
7. Interior floor to ceiling heights shall be 9'-0".
8. One 2" caliper pecan tree shall be planted along Ingram St.
9. HVAC equipment shall be appropriately screened and located at the rear.
10. A 4 foot wide sidewalk shall be constructed along First and





II. Habitat for Humanity New Single-Family Residence - 621 Walnut Street

OLD CONWAY DESIGN OVERLAY DISTRICT CERTIFICATE OF APPROPRIATENESS REVIEW

APPLICANT/OWNER
Habitat for Humanity of Faulkner County
825 Parkway Street
Conway, Arkansas 72034

SITE

Address: 621 Walnut Street

Present zoning: T3 (Suburban) within the Northeast Old Conway Area Specific Plan. Old Conway Design Overlay District Suburban Zone.

Abutting zoning: T3 (Suburban)

Lot area: .19 acre

Surrounding Area Structures: None

General description of property and proposed development: Habitat for Humanity is proposing to construct a single family residence. The new home will be a replacement for a former Habitat for Humanity home on Shannon Circle that was purchased from Habitat to serve as Phoenix Recovery Center transitional housing.

Setbacks: Proposed structures should respect the predominant setbacks of area structures, especially the front setback. Old Conway suburban guidelines state that the front of a structure should be between 80% and 110% of the average area front setback of 24 feet from the property line. The new home's front setback should be between 19 and 26 feet from the property line.

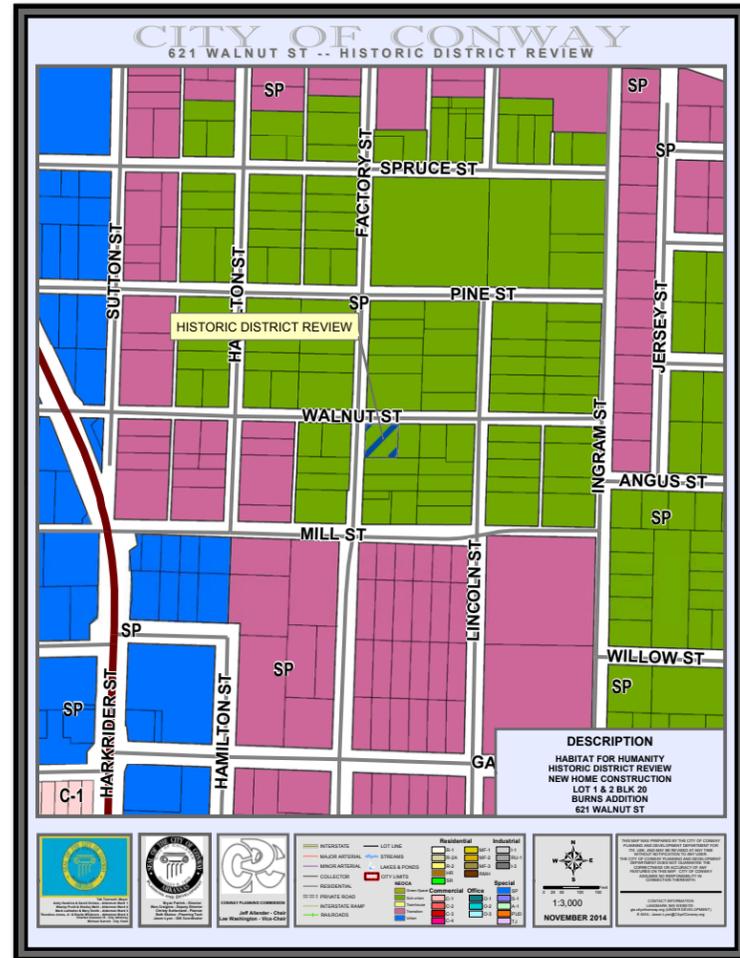
Spacing: Established spacing distance pattern between area structures. The proposed residence will be centered on the property. Spacing is appropriate.

Lot coverage: The Old Conway Suburban District allows up to 60% impermeable lot coverage. The proposed lot coverage is appropriate.

Orientation: The direction in which the front of a building faces. The residence will face Walnut Street. This property is a corner lot. As such, the residence could face either Walnut or Factory. However, as a corner residence, corner facades should be appropriately detailed.

Alley: There are no alleys on this block.

Driveway / Parking: The Old Conway Guidelines encourage garage placement at the rear of structures or at least set back from the front facade. Parking areas should not occupy more than 50% of the yard. No garage is proposed. Submitted plans do not show intended driveways. The applicant can supply additional information at the meeting.



Sidewalks: The OCDOD Ordinance requires that sidewalks be constructed or repaired as part of new construction. A new 4 foot wide sidewalk must be constructed along Factory and Walnut Streets.

Fences: No fencing is proposed.

Tree preservation: No significant trees will be affected by this construction.

MASSING

Scale: The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The scale of the residence is appropriate for the area.

Height: The average height of area structure's eaves and cornices. Also, the first floor elevation/height relationship. The residence's external height is appropriate. The interior floor to ceiling height should be 9' to lend a more traditional feel to the residence. The submitted plans note that ceiling height is 8 feet.

Width: New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The proposed residence's width is appropriate.

Directional expression: Measurement of the height to width ratio of a structure's elevation. The height/width ratio of the residence is appropriate.

Footprint: The area of land covered by a structure should be in relation to the majority of neighboring structures. The footprint is appropriate in scale with other area residences.

Complexity of form: The level of detailing and breaks in wall planes of a structure. The residence has an appropriate level of wall breaks and detailing to create a suitable level of complexity to blend and add to the area.

Façade, wall area, rhythm: Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. Window and door openings should correspond to the rhythm and proportion on existing structures. Generally doors and windows should be proportioned in a range of 25-40% of the total surface area. Additional windows should be added to the north east and west facades.

DESIGN ELEMENTS

Style: The style should compliment existing and area structures. The proposed residence is a contemporary ranch style. This would seem to blend with the other area residences.

Entries, porches and porticos: A porch is proposed on the front facade. Porches should have a minimum depth of 6 feet. The porch as shown is 5 feet deep gable. This needs to be increased to at least 6 feet. The porch as shown is also too low. The gable should be raised so that the tops of the door and windows are clearly visible. The gable design as shown is not typical.

Doors and windows. The living room windows could also be taller to match other windows. To avoid "fake" window light dividers, one over one sashes should be used. Additional windows should be added to the north east and west facades.

Awnings: When new construction uses awnings, traditional awning designs, materials, and placement should be used. No awnings are proposed.

Lighting: Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No light fixtures other than typical residential fixtures are proposed.

MATERIALS & DETAILING

Architectural details, siding and bricks: Eaves, brackets, dentils, cornices, molding, columns, trim, etc. It is assumed that vinyl siding is proposed for the wall siding, gables, and trim.

Shutters: No shutters are proposed.



Roof: The roof is an asphalt composition roof.

Decks/plaza space: No decks are proposed.

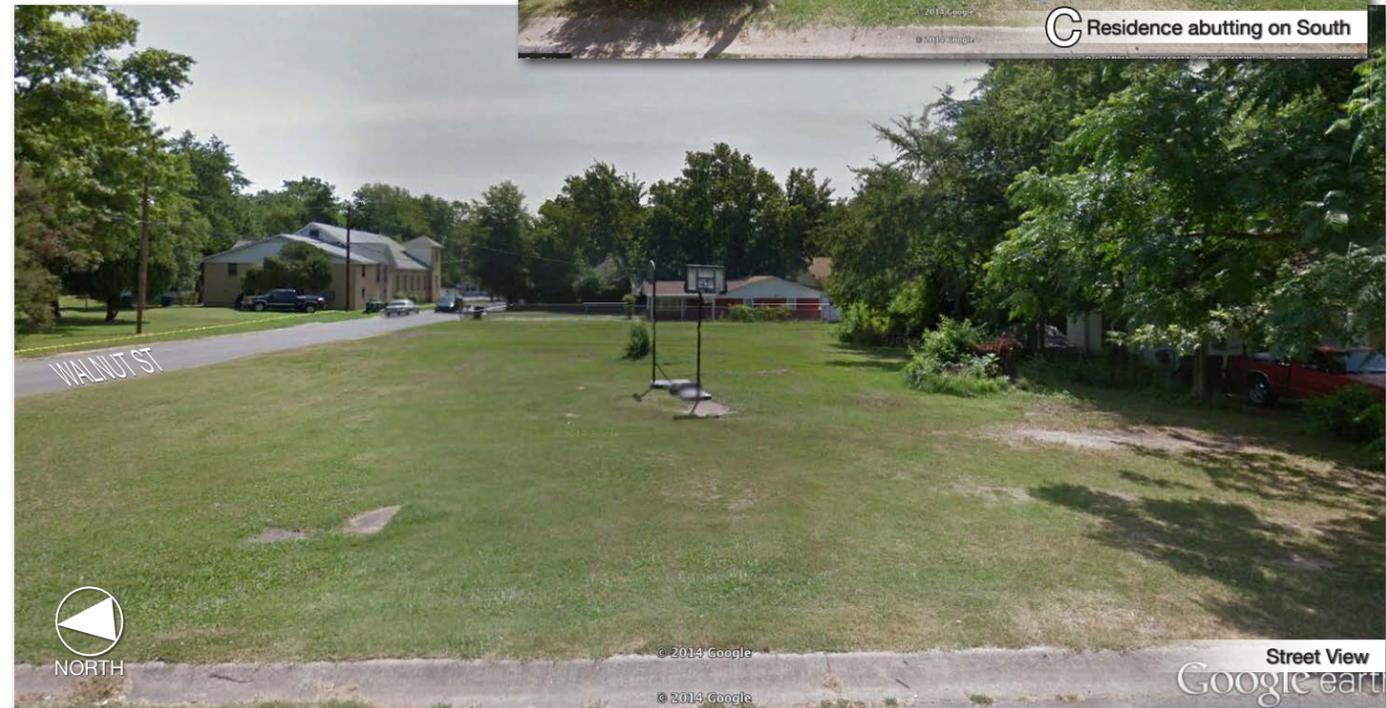
Skylights: Not proposed.

Mechanical screening: HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. HVAC equipment should be appropriately screened and located at the rear.

RECOMMENDATIONS

1. The residence shall be constructed generally as shown on submitted plans.
2. The front setback shall be between 19 and 26 feet from the property line.
3. Any site lighting shall be inward, downward, and shrouded.
4. Living Room windows shall be taller to match other windows. Windows shall be one over one.
5. Additional windows shall be provided per staff recommendation.
6. Porch shall be minimum of 6 feet deep. Porch columns must be trimmed to a minimum 8" square. Porch gable and trim height shall be raised as shown in staff sketch.
7. Interior floor to ceiling heights shall be 9'-0".
8. HVAC equipment shall be appropriately screened and located at the rear.
9. A 4 foot wide sidewalk shall be constructed along Factory and Ingram Streets.
10. Driveway and parking area?

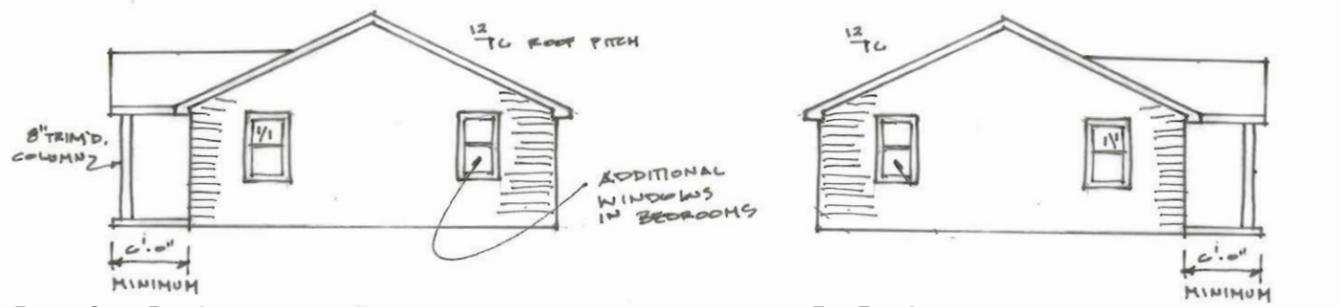
II. Habitat for Humanity New Single-Family Residence - 621 Walnut Street



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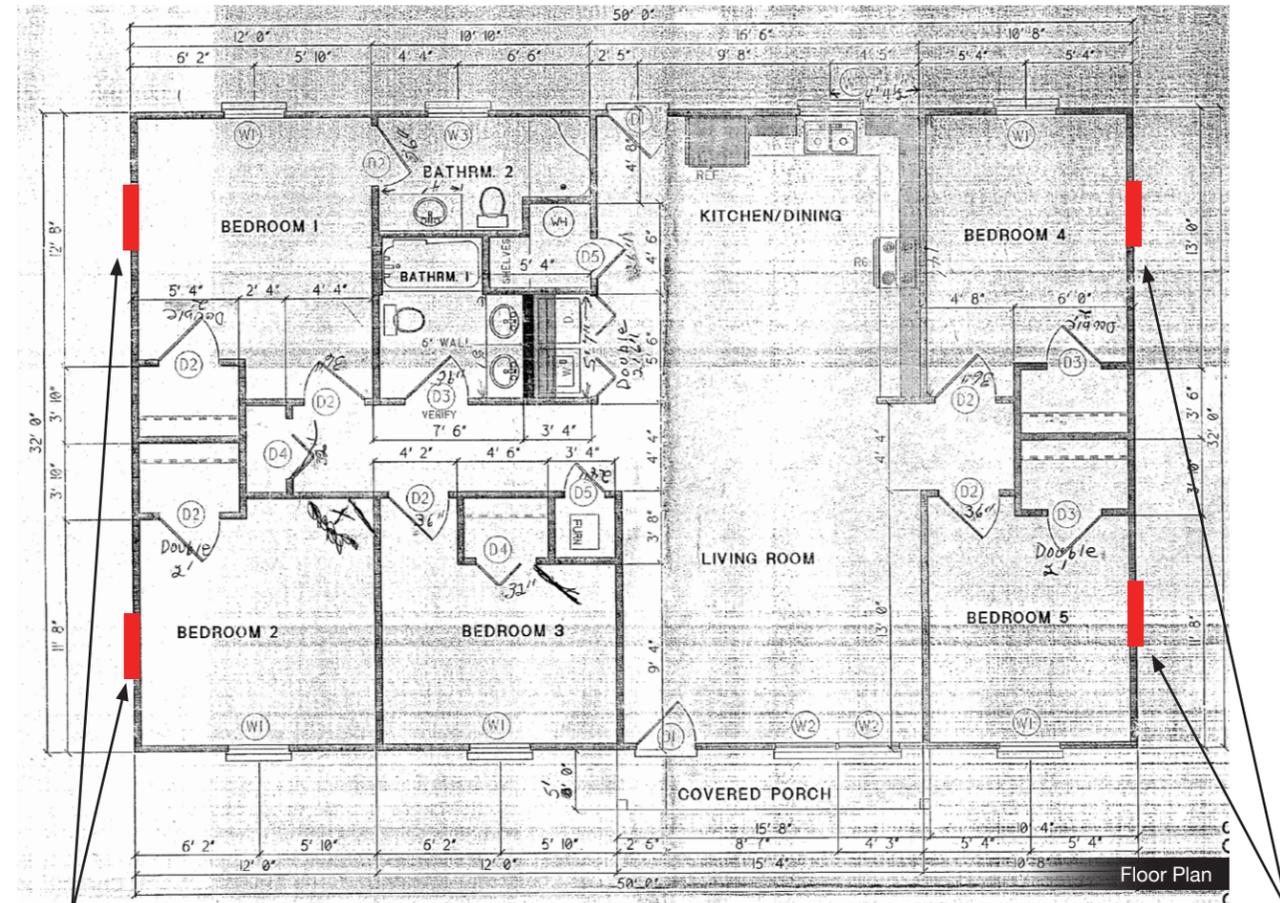
Walnut Street Facade



Factory Street Facade

East Facade

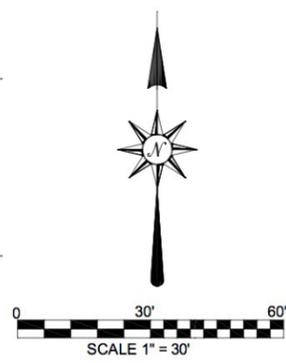
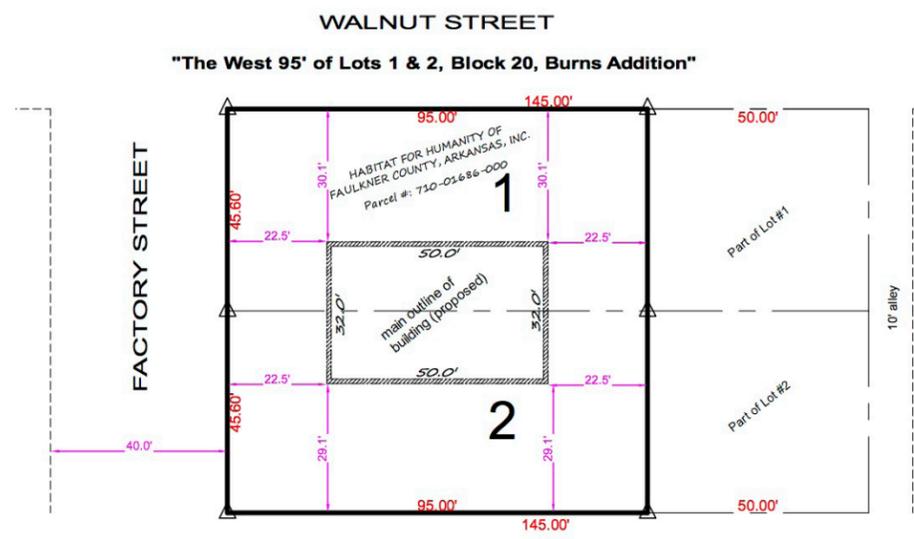
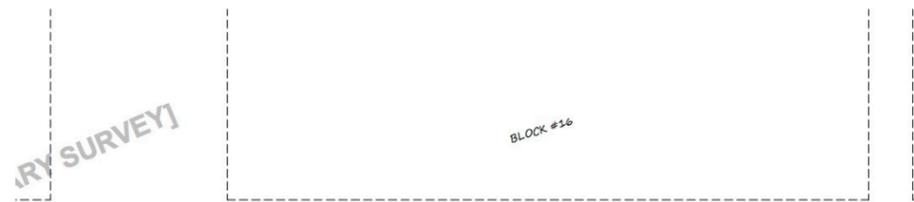
Staff Sketch



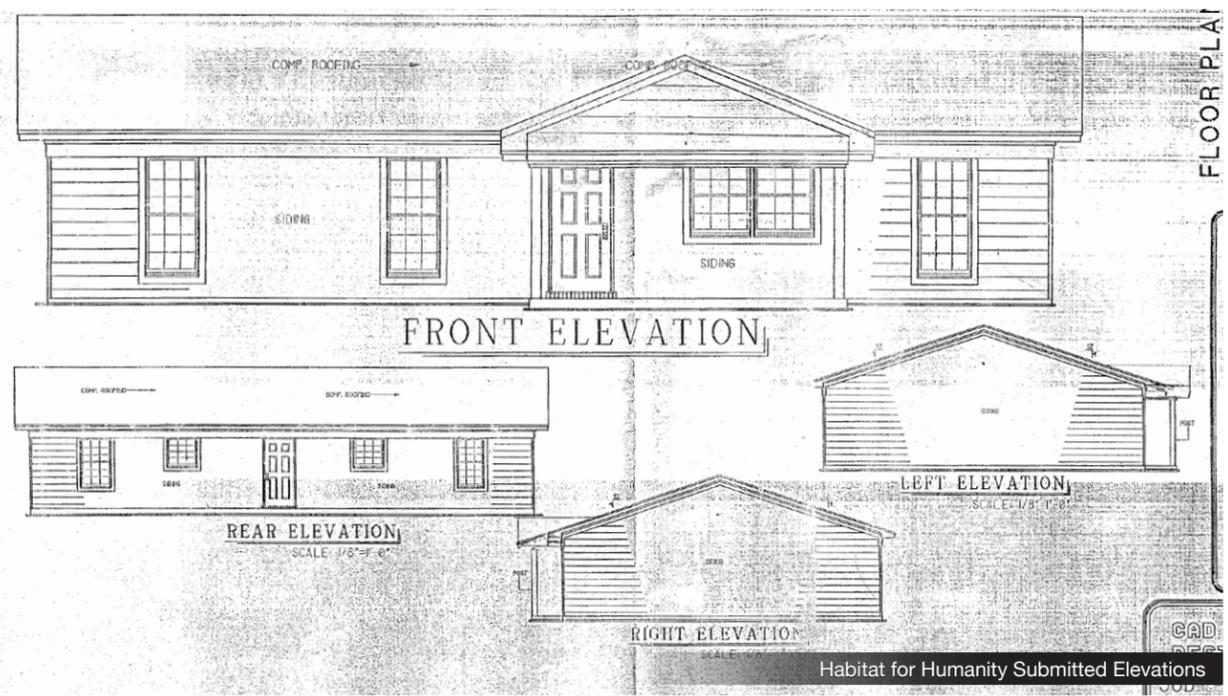
Floor Plan

Additional windows shown per recommendation no. 5.

Additional windows shown per recommendation no. 5.



Site Plan



Habitat for Humanity Submitted Elevations

HAPPY
THANKSGIVING

